

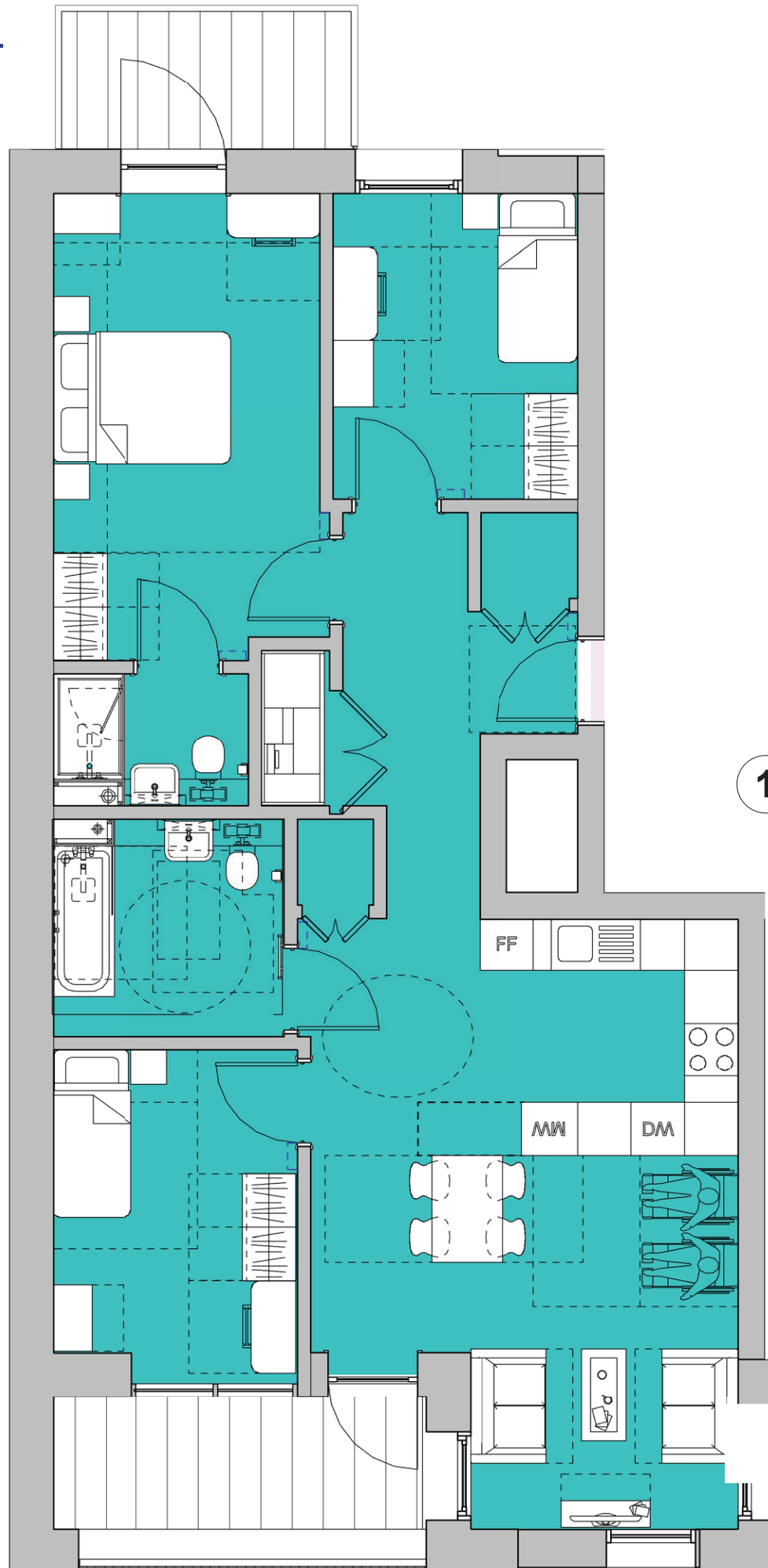
11.8 FULLY ACCESSIBLE UNIT LAYOUT

M4(3)

Typical 3 Bed Flat/4 Person Units

- Designed in accordance with the :
 - Technical Housing Standards - Nationally Described Space Standard (March 2015)
 - Mayor's Housing SPG (March 2016)
 - Building Regulations requirement M4(2) 'Accessible and Adaptable Dwellings'
- Exceeds minimum Gross Internal Floor Area of 74 (90) sqm
- Generous Built-In Storage - minimum area of 2.5sqm
- Level Thresholds to Entrance Door and External Amenity
- Enlarged Bathroom
- Enlarged Master Bedroom with adequate Transfer Zones
- Wheelchair Storage Space and Charging Point
- Generous Floor to Ceiling Level
- En-suite shower room to Master Bedroom
- Private Outdoor Amenity Area with a minimum depth of 1.5m

For further information, please refer to the Inclusive Design Statement, which accompanies the Planning Application.



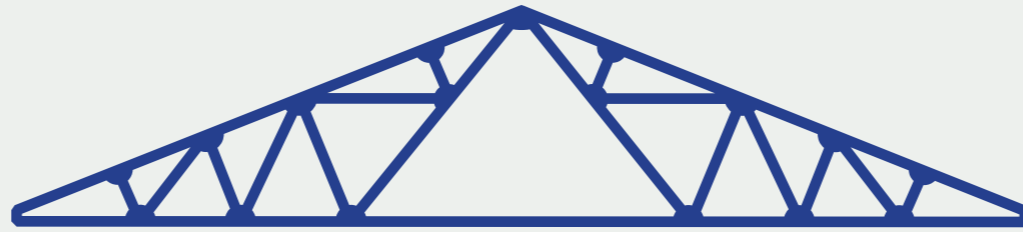
C3 Typology - 3A (Cat 3)		
Level	Number	Area
Level 02 FFL	B2.8	90.44 m ²

1 M4(3) Typologies - 3A (Cat 3)
1 : 50



**STURTS
YARD**





STURTS

YARD 



DESIGN AND ACCESS STATEMENT ADDENDUM 2

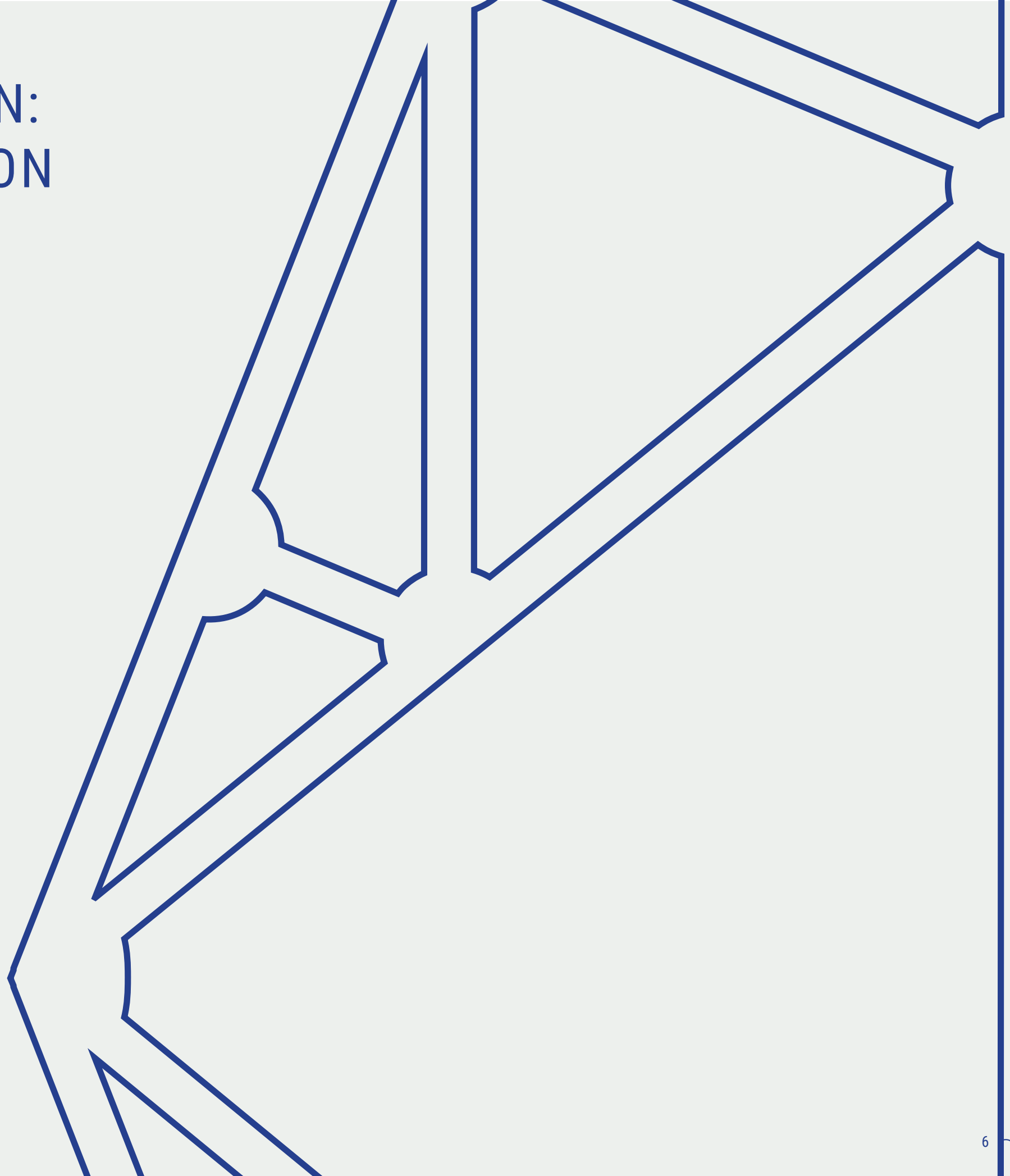
STUDIO EGRET WEST ON BEHALF OF ACCESS SELF STORAGE
STURT'S YARD, 48 EAGLE WHARF ROAD, HACKNEY, PLANNING APPLICATION
FEBRUARY 2021

REV	DATE	DESCRIPTION	BY	CHECK
P0	21.02.15	PLANNING SUBMISSION	JT	AP

CLIENT	~	Access Self Storage
PLANNER	~	DP9
COMMUNITY CONSULTATION	~	Polity
POLITICAL CONSULTATION	~	Polity
ARCHITECT	~	Studio Egret West
LANDSCAPE ARCHITECT	~	Studio Egret West
CIVIL ENGINEER	~	Alan Baxter & Associates
STRUCTURAL ENGINEER	~	Alan Baxter & Associates
SERVICES ENGINEER	~	Foreman Roberts
ENERGY ENGINEER	~	Foreman Roberts
HERITAGE CONSULTANT	~	Alan Baxter & Associates
TRANSPORT ENGINEER	~	Alan Baxter & Associates
ACOUSTIC ENGINEER	~	SRL Technical Services
ACCESS CONSULTANT	~	Buro Happold
TOWNSCAPE	~	Peter Stewart Consultancy
ECOLOGIST/ARBORIST	~	PJC Consultancy
BREEAM	~	Foreman Roberts
PRINCIPAL DESIGNER	~	Potter Raper Partnership
DAYLIGHT/SUNLIGHT	~	EB7
ROL	~	EB7
FIRE ENGINEER	~	Bureau Veritas
APPROVED INSPECTOR	~	Bureau Veritas
QUANTITY SURVEYOR	~	Cast
VIABILITY CONSULTANT	~	DS2
WASTE CONSULTANT	~	Waterman Infrastructure & Environment Ltd
AGENT	~	Currell
VERIFIED VIEWS	~	Cityscape
CONSULTING CONTRACTOR	~	McLaren Group

6	1.0  DESIGN EVOLUTION: WORKSHOP WITH LONDON BOROUGH OF HACKNEY FEBRUARY 2021
8	1.1 MATERIALITY AND DETAILING: CONCRETE LINTELS
9	1.2 MATERIALITY AND DETAILING: CONCRETE SETTS
10	1.3 MATERIALITY AND DETAILING: EXTRACT FLUE
12	1.4 LANDSCAPE: CANALSIDE TREES
14	1.5 LANDSCAPE: PLAYSPACE
16	1.6 LANDSCAPE: BIRD AND BAT BOX

1.0 ~ DESIGN EVOLUTION:
WORKSHOP WITH LONDON
BOROUGH OF HACKNEY
FEBRUARY 2021



WORKSHOP WITH LBH (05/02/21) :

Following feedback from London Borough of Hackney (recieved:) an additional consultation with Nick Bovaid and Peter Kelly was organised to resolve the design points raised.

Comments, responses and conclsions to these conversations are provided on the proceeding pages.

MATERIALITY AND DETAILING

CONCRETE LINTELS

LBH COMMENT:

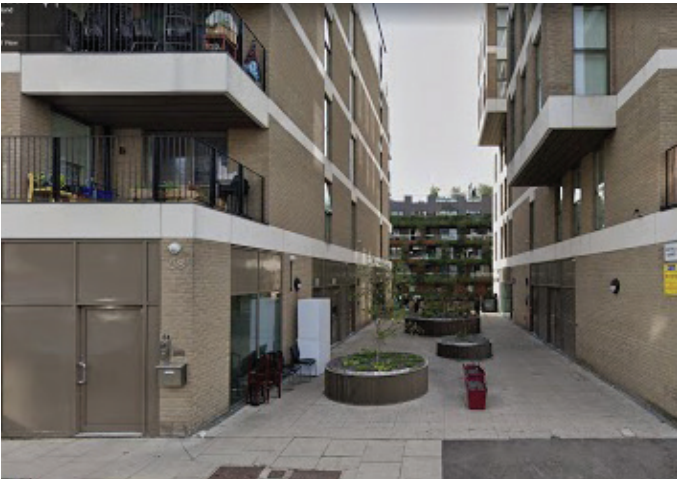
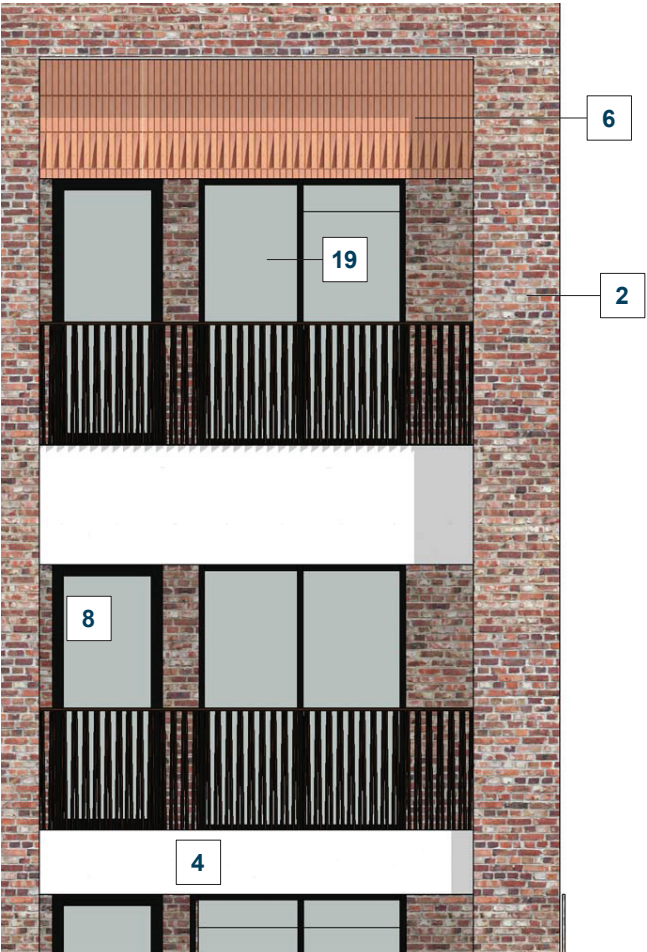
Balconies/soffits: We consider that the contextual industrial aesthetic you reference does not provide adequate justification for the choice of concrete on the balconies/soffits of a building of the proposed design. The proposed white brick would be acceptable, subject to a condition. As such, the 'concrete' alternative should be removed from the plans at this stage.

SEW RESPONSE:

For clarity, there is no concrete to soffits. The lintels proposed are flexible to white brick (a "tiled/mosaic" material format) or as white coloured concrete (a "larger/component" material format). We would not want to lose this flexibility as the larger format of a concrete lintel (which could be solid concrete or glass reinforced concrete) would be a high quality option. The aesthetic composition of having "tiled/mosaic" brick facade format across the majority of elevations and contrasting large lintel components should not be excluded at this stage. Historically window openings needed thick, large span beams to hold open the "hole" and as such industrial aesthetic often uses exposed component elements which are honest to the structural span performance carried by such a building element. We are keen not to limit ourselves only to brick vernacular at this stage, especially when bricks are not true "load carrying" lintels. We would like to express lintels in the original "beam" expression as evidenced in a number of historic and contemporary buildings located on the canal.

CONCLUSION FROM WORKSHOP:

It was agreed with London Borough of Hackney to keep the concrete lintels. The material legend has been updated on every elevation drawing to reflect this alongside clarification on the specification of matching soffits.



58, De Beauvoir Crescent



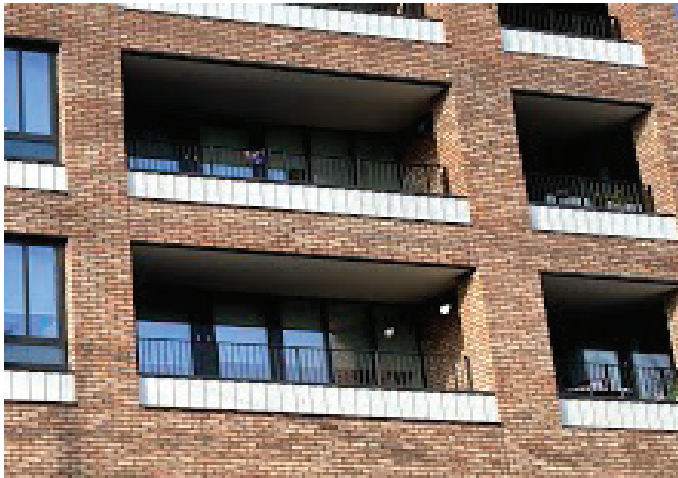
Jerusalem Passage, Clerkenwell



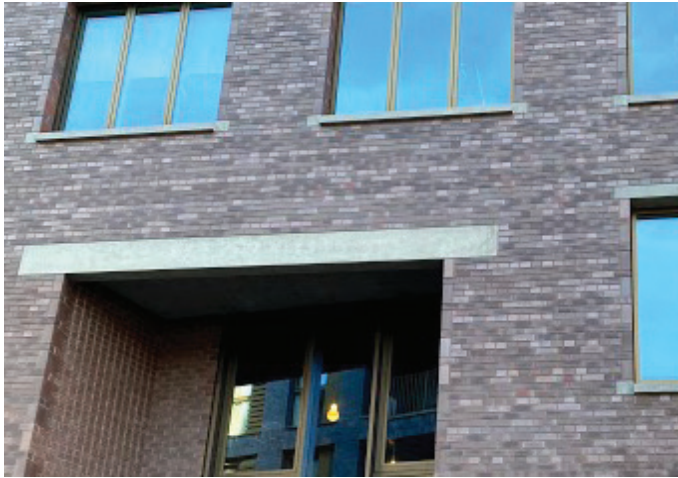
Waterside, Wharf Rd, Regents Canal



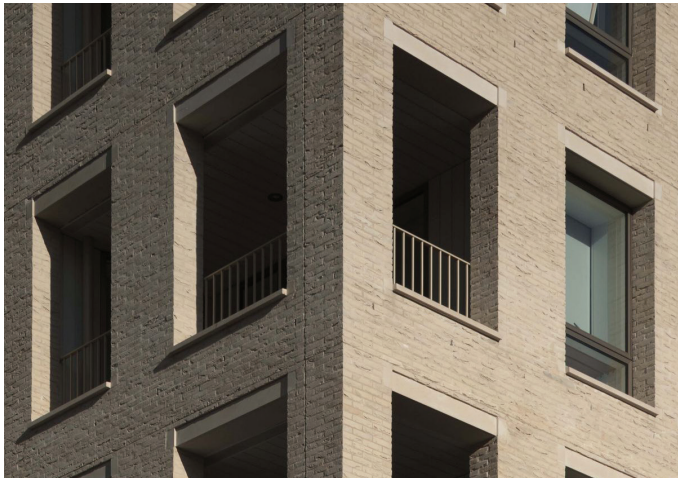
Eagle Wharf Road



Shoreditch Exchange, Hoxton by AHMM



Brickfields, Hoxton by Witherford Watson



Kings Crescent, Hackney by Henley Halebrown

MATERIALITY AND DETAILING

COURTYARD SETTS

LBH COMMENT:

Courtyard Setts: Heritage and design officers welcome the proposed use of traditional granite setts. However, accessibility is a primary concern here and we would need clarity that the proposed arrangement would remain accessible. We suggest the use of granite setts with areas of rectangular flat stone providing accessible surface for wheelchair users and those with buggies etc (examples can be provided). Please discuss with your Building Control adviser. If there are certain areas that are not required to be accessible, granite setts of the type you have identified would be acceptable for those areas. Other areas might require the compromise suggested or another surface and we would wish to see a drawing that shows how the two areas of surface would be arranged.

SEW RESPONSE:

The traditional granite setts will be of various rectilinear size (such as those found in the surrounding area) but flat stone as requested. The final product format and texture will ensure accessibility and will be coordinated with the Building Control advisor. Details of this paving will be provided in due course by way of submitted condition detail.

CONCLUSION FROM WORKSHOP:

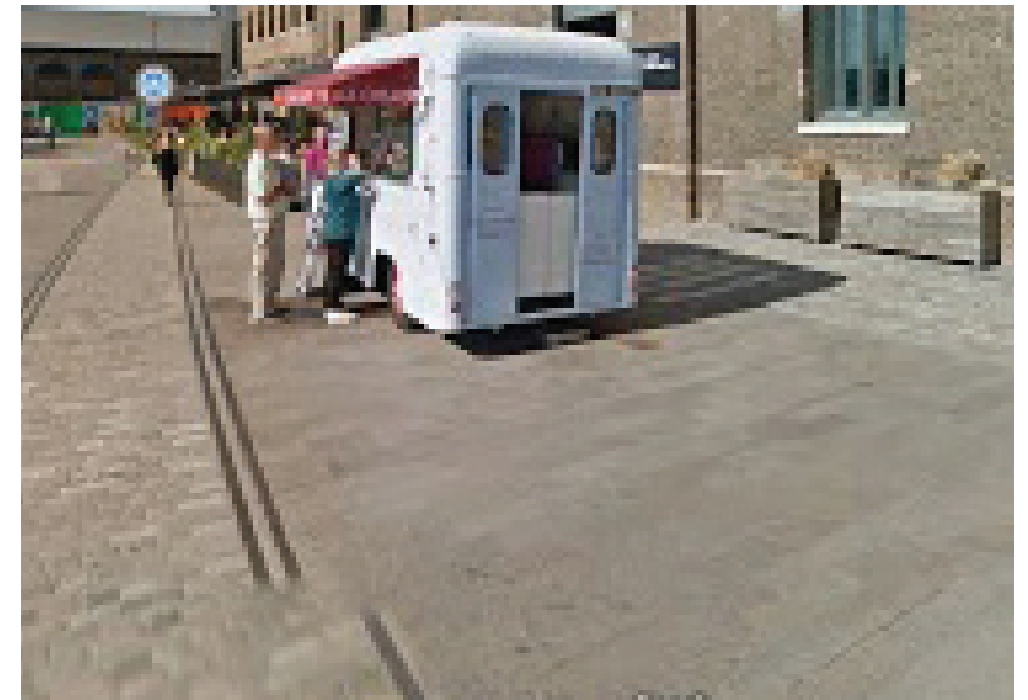
It has been agreed with LBH to move ahead with the courtyard sets that are traditional granite setts of various rectilinear size with a slight tumbled edged with appropriate bedding detail/depth to ensure accessibility compliance.



Traditional granite setts at Kings Yard, Kingsland Road



Flat granite setts at Olympian Way, Greenwich



Flat granite setts at Granary Square, Kings Cross