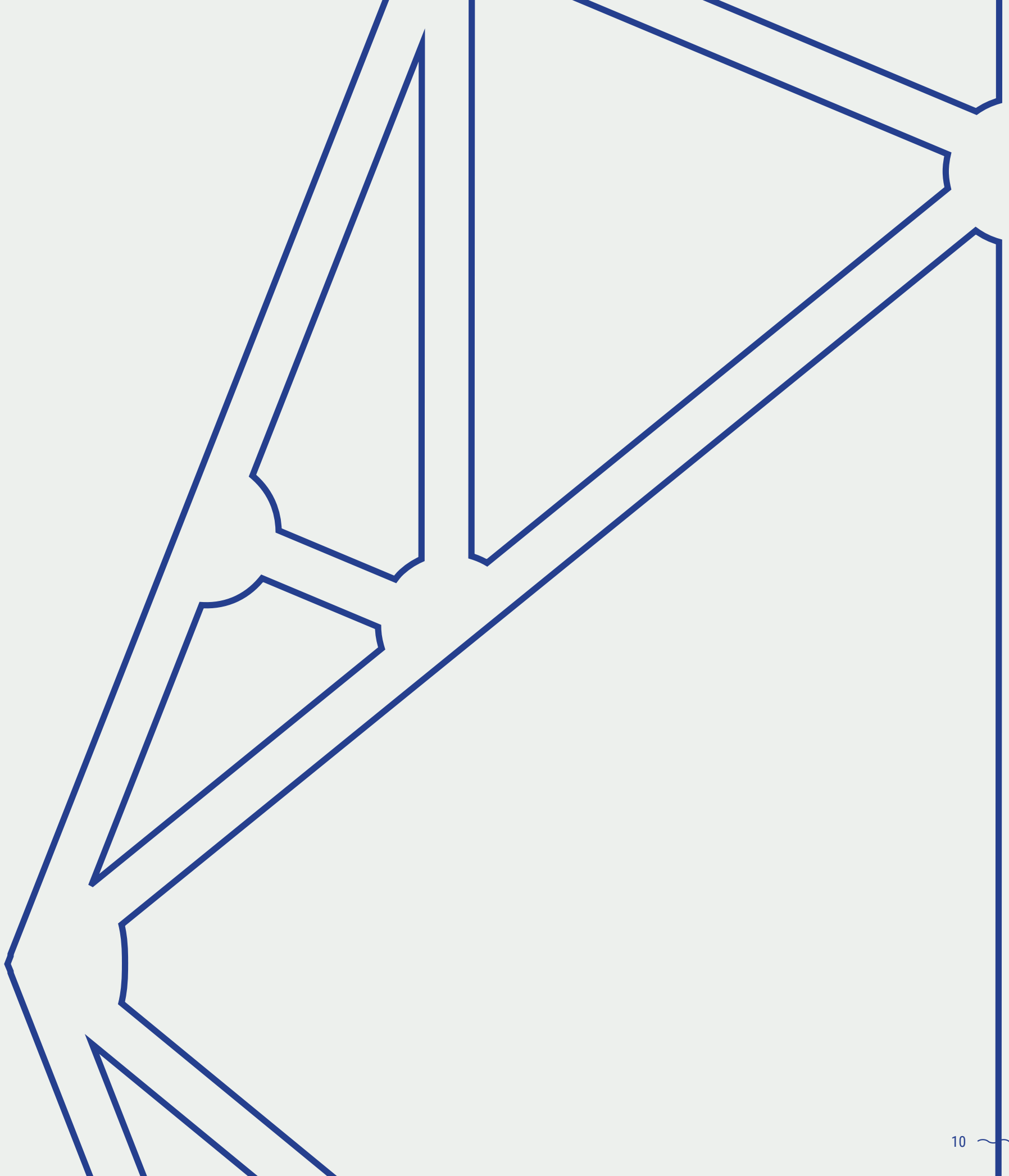




2.0 ~ USE & AMOUNT



8.1 USE & AMOUNT

Residential - gross internal area 11,832m²

Commercial (Storage, Office, Cafe) - gross internal area 12,293m²

TOTAL gross internal area 24,124m²

KEY

- Residential
- Commercial

— Consented Holborn Studios Extents



8.2 SCHEDULE OF ACCOMMODATION

Site Area – 0.53 hectares

Proposed Land Uses / Floor Areas

Use	Proposed (GIA sqm)	Proposed (GEA sqm)
Residential (C3)	11832	13011
Office (B1)	4,632	5,041
Self-Storage (B8)	7,364	8,016
Café (A3)	297	326
Total	24124	26394

Proposed Residential Use

Unit Mix

	Studio	1 Bed	2 Bed	3 Bed	Total
No. of units	43	48	41	7	139
%	31%	34%	29%	6%	100%

Unit Sizes

	Studio	1 Bed	2 Bed	3 Bed
Unit Size GIA sqm	39-49	50-66	70-84	90-101

PARKING

VEHICLE PARKING

Car Parking - Count	
Car Parking Use	Count
B1/B8 Visitor: Car Space - Accessible	1
B8 Visitor: Car Space	3
B8 Visitor: LGV Space	3
C3 Tenant: Car Space - Accessible	5
Grand total:	12

CYCLE PARKING

Cycle Parking - Count	
Cycle Parking Use	Total Cycle Stands
A3 Cafe Cycle Parking Long Stay	4
A3 Cafe Cycle Parking Short Stay	3
B1 Office Cycle Parking Long Stay	101
B1 Office Cycle Parking Short Stay	10
B8 Storage Cycle Parking Long Stay	16
B8 Storage Cycle Parking Short Stay	11
C3 Residential Cycle Parking Long Stay	211
C3 Residential Cycle Parking Short Stay	40
Public Cycle Parking Short Stay	0
	396

Note : Adequate space has been allowed for Commercial Showers, changing facilities, lockers, and drying spcae to be designed post-planning to meet BREEAM credits.

Ecology

BIRD & BAT BOXES

Bird, Bat and Insect Box - Count	
Comments	Count
Bird and Bat Box: Schwegler 1B Bird Box	2
Bird and Bat Box: Schwegler 1SP Sparrow Terrace	1
Insect Box: Reed Insect Block	1
Insect Box: Schwegler Clay	1

WASTE COUNTS

Waste Schedule				
Refuse Use	Refuse Type	Count	Bin Type	Bin Dimentions
B1/B8 Commercial				
B1/B8 Commercial	Residual or Recycable Waste	11	Site_Eurobin	1250x820x1325mm
C3 Residential - Block A				
C3 Residential - Block A	Residual or Recycable Waste	6	Site_Eurobin	1250x820x1325mm
C3 Residential - Block B				
C3 Residential - Block B	Residual or Recycable Waste	6	Site_Eurobin	1250x820x1325mm
C3 Residential - Block C				
C3 Residential - Block C	Residual or Recycable Waste	4	Site_Eurobin	1250x820x1325mm
C3 Residential - Block D				
C3 Residential - Block D	Residual or Recycable Waste	4	Site_Eurobin	1250x820x1325mm

- Note: The revised submission has a reduction in the number of residential long stay cycle parking due to change in mix.

C3 Use Residential Cycles Storage:

- 211 long stay cycle spaces
- 40 short stay cycle space

B1 Use Office Cycle Storage:

- 101 long stay cycle spaces
- 10 short stay cycle space

B8 Use Self Storage Cycle Storage:

- 16 long stay cycle space
- 11 short stay cycle space

A3 Use Cafe Cycle Storage:

- A3 Cafe: 4 long ==stay cycle spaces

8.2 HOMES PER CIRCULATION CORE ON EACH FLOOR

DETAILS OF THE AMOUNT OF HOMES SERVED PER FLOOR PER BLOCK

Submitted

Total Homes in the Development:					150
Level	Homes Per Core				Average Homes/Per Core/Per Level
	Block A	Block B	Block C	Block D	
Level 02	11	11	8	8	9.5
Level 03	11	11	8	8	9.5
Level 04	11	11	8	8	9.5
Level 05	11	6	8	5	7.5
Level 06	0	3	0	3	1.5
Average Homes/Per Core/All Levels	8.8	8.4	6.4	6.4	7.5

Change Concept

Total Homes in the Development:					139
Level	Homes Per Core				Average Homes/Per Core/Per Level
	Block A	Block B	Block C	Block D	
Level 02	9	10	8	8	8.75
Level 03	9	10	8	8	8.75
Level 04	9	10	8	8	8.75
Level 05	9	6	8	5	7
Level 06	0	3	0	3	1.5
Average Homes/Per Core/All Levels	7.2	7.8	6.4	6.4	7

8.3 ASPECT

DETAILS OF THE AMOUNT OF SINGLE, CORNER, AND DUAL ASPECT HOMES

Submitted

	Single Aspect Homes (Northwest Facing)	Single Aspect Homes (East, South, West)	Corner Aspect Homes	Dual Aspect Homes	Total Homes Per Floor
Level 02	6	18	8	6	38
Level 03	6	18	8	6	38
Level 04	6	18	8	6	38
Level 05	7	14	2	7	30
Level 06	0	0	0	6	6
	25	68	26	31	150
	17%	45%	17%	21%	100%
			38%		

Change Concept

	Single Aspect Homes (Northwest Facing)	Single Aspect Homes (East, South, West)	Corner Aspect Homes	Dual Aspect Homes	Total Homes Per Floor
	4	14	7	10	34
	4	14	7	10	34
	4	14	7	10	34
	4	11	4	9	28
	0	0	0	6	6
	16	53	25	45	139
	12%	38%	18%	32%	100%
			50%		